



City of Sweetwater

EMERGENCY COMMISSION MEETING

AGENDA

MEETING DATE: WEDNESDAY, JULY 3, 2019 AT 8:05 PM COMMISSION CHAMBERS, 500 SW 109 AVE.

1. ROLL CALL.
2. PLEDGE OF ALLEGIANCE.
3. INVOCATION.
4. PUBLIC COMMENTS.
5. A RESOLUTION OF THE MAYOR AND THE SWEETWATER CITY COMMISSION AUTHORIZING THE EXPENDITURE FOR A JULY 4TH EVENT; AND PROVIDING FOR EFFECTIVE DATE. (MAYOR LOPEZ)
6. A RESOLUTION OF THE SWEETWATER CITY COMMISSION AUTHORIZING THE EXPENDITURE FOR THE REPAIR OF THE ROOF AT CITY HALL; AND PROVIDING FOR EFFECTIVE DATE. (MAYOR LOPEZ)
7. A RESOLUTION OF THE SWEETWATER CITY COMMISSION AUTHORIZING THE MAYOR OF MISCELLANEOUS EXPENDITURES FOR THE REPAIR AND MAINTENANCE OF CERTAIN SECTIONS OF THE COMMISSION CHAMBERS; AND PROVIDING FOR EFFECTIVE DATE. (MAYOR LOPEZ)
8. ADJOURNMENT.

THIS MEETING WAS CALLED AS AN EMERGENCY AT THE REQUEST OF MAYOR LOPEZ.

IF ANY PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE CITY COMMISSION WITH RESPECT TO ANY MATTER CONSIDERED AT SUCH MEETING OR HEARING, SUCH PERSON WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT, FOR SUCH PURPOSE, HE MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED.

DECORUM

Sec. 2-55. - Manner of addressing commission; time limit.

Each person addressing the city commission shall step up in front of the rail, give his name and address in an audible tone of voice for the records, and unless further time is granted by the city commission, shall limit his address to three minutes. All remarks shall be addressed to the city commission as a body and not to any member thereof. No person, other than the members of the city commission and the person having the floor, shall be permitted to enter into any discussion, either directly or through a member of the city commission, without the permission of the presiding officer. No question shall be asked a commission member except through the presiding officer.

Sec. 2-57. - Decorum generally.

(a) By commission members. While the city commission is in session, the members must preserve order and decorum, and a member shall neither, by conversation or otherwise, delay or interrupt the proceedings or the peace of the city commission nor disturb any member while speaking or refuse to obey the orders of the city commission or its presiding officer, except as otherwise provided in this division.

(a) By other persons. Any person making personal, impertinent or slanderous remarks or who shall become boisterous while addressing the city commission shall be forthwith barred by the presiding officer from further audience before the city commission, unless permission to continue is granted by a majority vote of the city commission.

RESOLUTION NO.: _____

**A RESOLUTION OF THE MAYOR AND THE SWEETWATER
CITY COMMISSION AUTHORIZING THE EXPENDITURE FOR
A JULY 4TH EVENT; AND PROVIDING FOR EFFECTIVE
DATE.**

WHEREAS, it is the City intent to honor Independence Day on July 4, 2019; and,

WHEREAS, The City of Sweetwater is need of certain expenditures to fund the July 4th event.; and

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND THE
CITY COMMISSION OF THE CITY OF SWEETWATER, FLORIDA:**

Section 1. The Mayor is authorized to spend \$15,000.00 to pay for and fund the July 4th event that will benefit the residents of the City of Sweetwater.

Section 2. This resolution shall become effective upon its adoption by the City Commission and approval of the Mayor or if, vetoed, upon its reenactment by the City Commission as provided by the Charter of the City of Sweetwater.

PASSED and ADOPTED this _____ day of _____, 2019.

ORLANDO LOPEZ, Mayor

Commission President

ATTEST:

APPROVED AS TO FORM AND LEGAL
SUFFICIENCY:

CARMEN GARCIA, CITY CLERK

RAY GARCIA, CITY ATTORNEY

VOTE UPON ADOPTION:

JONIEL DIAZ COMMISSION PRESIDENT

MARCOS VILLANUEVA, COMMISSION VICE PRESIDENT

CECILIA HOLTZ-ALONSO, COMMISSIONER

DAVID BORRERO, COMMISSIONER

SAUL DIAZ, COMMISSIONER

ISIDRO RUIZ, COMMISSIONER

SOPHIA LACAYO, COMMISSIONER

ZAMBELLI FIREWORKS MANUFACTURING CO.

THIS CONTRACT AND AGREEMENT (this "Contract") is made effective as of this 31st day of May, 2017, by and between:

Zambelli Fireworks Manufacturing Co. of New Castle, Pennsylvania (hereinafter referred to as "Zambelli").

-AND-

City of Sweetwater, Florida (hereinafter referred to as "Client").

WHEREAS, Zambelli is in the business of designing and performing exhibitions and displays of fireworks; and

WHEREAS, Client desires that Zambelli provide an exhibition and display of fireworks for Client's benefit pursuant to the terms and conditions hereof, and Zambelli desires to perform an exhibition and display of fireworks for Client's benefit pursuant to the terms and conditions hereof.

NOW, THEREFORE, in consideration of the mutual agreements herein contained:

Zambelli, intending to be legally bound, agrees as follows:

1. Zambelli agrees to sell, furnish and deliver to Client a 15 minute fireworks display [per the program submitted by Zambelli to Client, accepted by Client and made a part hereof] (hereinafter referred to as the "Display") to be exhibited on the display date set forth below (hereinafter referred to as the "Display Date"), or on the postponement date set forth below (hereinafter referred to as the "Postponement Date") if the Display is postponed as provided herein, which Display Date and Postponement Date have been agreed upon at the time of signing this Contract.

Display Date: July 4, 2017, 2018 & 2019

Postponement Date: TBD

2. Zambelli agrees to furnish the services of display technicians (hereinafter referred to as "Display Technicians") who are sufficiently trained to present the Display. Zambelli shall determine in its sole discretion the number of Display Technicians necessary to take charge of and safely present the Display.
3. Zambelli agrees to furnish insurance coverage in connection with the Display for bodily injury and property damage, including products liability, which insurance shall include Client as additional insured regarding claims made against Client for bodily injury or property damage arising from the operations of Zambelli in performing the Display provided for in this Contract. Such insurance afforded by Zambelli shall not include claims made against Client for bodily injury or property damage arising from failure of Client, including through or by its employees, agents and independent contractors, to perform its obligations under this Contract, including without limitation those set forth in paragraphs 5 and 6 below. Client shall indemnify and hold Zambelli harmless from all claims and suits made against Zambelli for bodily injury or property damage arising from failure of Client, including through or by its employees, agents and independent contractors, to perform its obligations under this Contract, including without limitation those set forth in paragraphs 5 and 6 below.

Client, intending to be legally bound, agrees as follows:

4. Client agrees to pay Zambelli the sum of \$10,000 (hereinafter referred to as the "Purchase Price"), fifty percent (50%) of which is due upon signing this Contract and the balance of which is due at noon three (3) days prior to the Display Date. Zambelli reserves the right to add to Client's invoice an equitable transportation surcharge in the event of any material increase in transportation costs (including the cost of fuel and third party shipping costs) to Zambelli after the date of this Contract. In addition, Client agrees to pay a postponement fee of fifteen percent (15%) of the Purchase Price plus Additional Third Party Charges (as defined in paragraph 11 below) if the Display is fired on the Postponement Date, or twenty-five percent (25%) of the Purchase Price plus Additional Third Party Charges if the Display is fired on a date other than the Display Date or the Postponement Date ("Alternate Date"). The Alternate Date must occur within six months of the original Display Date at a time agreeable to both Zambelli and the Client. Generally, Alternate Dates will not include the period from June 28th through July 7th. This Checks shall be made payable to Zambelli Fireworks Manufacturing Co., unless otherwise authorized in writing by Zambelli. NO CASH shall be paid to any agent or employee of Zambelli, unless otherwise authorized in writing by Zambelli. There shall be no refund of the Purchase Price due and payable under this paragraph 4, except as specifically provided in paragraph 11 below.

5. Client agrees to meet all deadlines outlined in the Design and Production Provisions, which has been provided to Client, including but not limited to the following:
 - (a) Client must select a suitable place for the Display, including a firing and debris zone reasonably acceptable to Zambelli (hereinafter referred to as the "Display Area") and submit such selection to Zambelli no later than sixty (60) days prior to the Display Date. The Display Area shall adhere to or exceed applicable National Fire Protection Association ("NFPA") standards including the Zambelli guideline that the Display Area have a radius of at least 100 feet per inch (or as mutually agreed to between Zambelli and Client) of the largest diameter pyrotechnic from the firing site in all directions to any parking area, spectators, inhabited buildings, public roads, or active railroad. Client shall submit a site map (attached hereto as Exhibit A) to Zambelli accurately representing the physical characteristics of the Display Area as pertains to NFPA and Zambelli guidelines. The content of the Display may be limited by the selection of the Display Area due to the requirement to provide sufficient safety zones.
 - (b) Zambelli will secure all permits necessary for the Display as required, including but not limited to police, local, and state permits, and arrange for any security bonds or insurance as required by law. In addition Zambelli will notify and obtain permission from the FAA to display fireworks. Client will assist Zambelli when appropriate in completing permit applications.
 - (c) If the Display is choreographed to music, the final selection of the music must be submitted to Zambelli by Client no later than ninety (90) days prior to the Display Date.
6. If, in its sole discretion, Client designates an area for members of the public to view the Display (hereinafter referred to as the "Spectator Area") or an area for vehicular parking (hereinafter referred to as the "Parking Area"), Client shall (a) ensure that the Spectator Area does not infringe on the Display Area, (b) have sole responsibility for ensuring that the terrain of the Spectator Area and any structures thereon, including but not limited to grandstands and bleachers are safe for use by spectators, (c) have sole responsibility for ensuring that the Parking Area is safe for use, (d) have sole responsibility to police, monitor and appropriately control spectator access to the Spectator Area and the Parking Area and police and monitor and appropriately control the behavior of persons in these areas. It is expressly agreed that Zambelli shall not inspect any area other than the Display Area, except to ensure that any Spectator or Parking Areas are outside the Display Area.
7. Prior to, during, and immediately following the Display, Client shall monitor the Display Area and will be solely responsible to keep all persons and property not authorized by Zambelli out of the Display Area and behind safety zone lines and limits.
8. Following the Display, Client shall be solely responsible for policing of the Display Area and for cleanup except as specifically provided in the sentence immediately following. Zambelli shall be responsible for the removal of unexploded fireworks and the cleanup of material debris, the removal of frames, sets and lumber from the Discharge Area, and the refilling of holes created by Zambelli or on behalf of Zambelli within the Discharge Area.
9. Client will include a direct reference to "Zambelli Fireworks" in all promotional material, including but not limited to event schedules; radio, television, newspaper and internet announcements; newspaper articles; and other media.

The parties, intending to be legally bound, mutually agree as follows:

10. It is agreed and understood by the parties hereto that should inclement weather prevent firing of the Display on the Display Date, as determined by the Authority Having Jurisdiction (as defined in paragraph 14 below) or as reasonably determined by Zambelli, then the program shall be postponed and fired on the Postponement Date. If there is no Postponement Date and the Display is not fired on the Display Date, or if inclement weather prevents firing of the Display on the Postponement Date, as determined by the Authority Having Jurisdiction or as reasonably determined by Zambelli, the Display will be cancelled and there will be no refund of the Deposit or fifty percent (50%) of the Purchase Price, whichever is greater.
11. Client's cancellation of the Display will only be effective upon receipt by Zambelli of a written notice from an authorized person representing Client. In the event of cancellation of the Display, the parties agree as follows:
 - (a) If Client cancels the Display more than sixty-one (61) days prior to the Display Date, Client agrees to pay Zambelli a cancellation fee equal to ten percent (10%) of the Purchase Price plus Additional Third Party Charges, as defined below.

- (b) If Client cancels the Display from thirty-one (31) to sixty (60) days prior to the Display Date, Client agrees to pay Zambelli a cancellation fee equal to twenty percent (20%) of the Purchase Price plus Additional Third Party Charges, as defined below.
 - (c) If Client cancels the Display from five (5) days prior the Display to thirty (30) days prior to the Display Date, Client agrees to pay Zambelli a cancellation fee equal to thirty percent (30%) of the Purchase Price plus Additional Third Party Charges, as defined below.
 - (d) If Client cancels the Display less than five (5) days prior to the day of the Display, Client agrees to pay Zambelli a cancellation fee equal to fifty percent (50%) of the Purchase Price plus Additional Third Party Charges, as defined below.
 - (e) "Additional Third Party Charges" shall mean all costs and expenses incurred by Zambelli and paid or payable to third parties in connection with the Display, including but not limited to security fees, permits and licensing fees and expenses, barge and tow expenses, and firewatch fees.
- 12. Zambelli reserves the exclusive right to make minor modifications and substitutions to the Display, provided that such changes are reasonable and necessary and do not materially adversely affect price, time of delivery, functional character or performance of the Display.
 - 13. It shall be within Zambelli's and/or the Authority Having Jurisdiction's discretion to terminate the firing of the Display if any unsafe or unsuitable condition is identified. If such condition is not corrected, Zambelli may cancel the Display without further liability to Client for such cancellation.
 - 14. The parties agree to cooperate with the regulatory authorities having jurisdiction over the Display, including, but not limited to local fire and police departments, the Bureau of Alcohol, Tobacco, Firearms and Explosives, the Department of Transportation, the Department of Homeland Security, and the USCG (any such authority having jurisdiction over the Display is sometimes referred to herein as, the "Authority Having Jurisdiction"). The parties acknowledge that such governmental regulatory authorities having jurisdiction over the Display have the right to prohibit the Display until unsafe or unsuitable conditions are corrected.
 - 15. This contract shall be deemed made in the State of Florida and shall be construed in accordance with the laws of the State of Florida, excluding its conflict of law rules. The parties agree and consent to the jurisdiction of the courts of the State of Florida and the Federal District Court for the Southern District of Florida to decide all disputes regarding this Contract.
 - 16. If Client becomes bankrupt or insolvent, or if a petition in bankruptcy is filed by or against Client or if a receiver is appointed for Client, Zambelli may refuse to perform under this Contract and may terminate this Contract without prejudice to the rights of Zambelli. If Client's financial condition becomes unsatisfactory to Zambelli, Zambelli may require that Client deposit the balance of the Purchase Price in escrow or provide sufficient proof of its ability to pay the balance of the Purchase Price.
 - 17. Except to the extent, if any, specifically provided to the contrary herein, in no event shall Zambelli be liable to Client for any indirect, special, consequential, incidental or punitive damages or lost profits, however caused and on any theory of liability (including negligence of any kind, strict liability or tort) arising in any way out of this contract, whether or not Zambelli has been advised of the possibility of damages.
 - 18. If Client fails to pay the monies due under this Contract, Zambelli is entitled to recover the balance due plus interest at one and one-half percent (1 ½ %) per month on amounts past due sixty (60) days or more. Further, on balances outstanding one hundred twenty (120) days or more, Zambelli is entitled to recover the balance due, plus accrued interest, plus attorneys fees of ten percent (10%) of the amount past due, plus court costs, or, if less, the maximum amount permitted by law.
 - 19. This Contract shall not be construed to create a partnership or joint venture between the parties or persons mentioned herein.
 - 20. Each party hereunder shall be excused for the period of delay in the performance of any of its obligations hereunder and shall not be liable for failure to perform or considered in default hereunder, when prevented from so performing by a cause or causes beyond its reasonable control, including but not limited to fire, storm, earthquake, flood, drought, accident, explosion, operation malfunction, or interruption, strikes, lockouts, labor disputes, riots, war (whether or not declared or whether or not the United States is a member), Federal, state, municipal or other governmental legal restriction or limitation or compliance therewith, failure or delay of transportation, shortage of,

or inability to obtain materials, supplies, equipment, fuel, power, labor or other operational necessity, interruption or curtailment of power supply, or act of God, nature or public enemy.

21. This Contract constitutes the sole and entire understanding of the parties with respect to the matters contemplated hereby and supersedes and renders null and void all prior negotiations, representations, agreements and understandings (oral and written) between the parties with respect to such matters. No change or amendment may be made to this Contract except by an instrument in writing signed by each of the parties.
22. Notices, consents, requests or other communications required or permitted to be given by either party pursuant to this Contract shall be given in writing by first class mail, postage prepaid addressed as follows: if to Zambelli, to the address set forth below; if to Client, to: 250 SW 114 Avenue- Sweetwater, FL 33174
23. This Contract may be executed in one or more counterparts, each of which shall be deemed to be an original but all of which together shall be deemed to be one and the same instrument. The exchange of copies of this Contract and of signature pages by facsimile transmission shall constitute effective execution and delivery of this Contract as to the parties and may be used in lieu of the original Contract for all purposes. This Contract and all the rights and powers granted by this Contract shall bind and inure to the benefit of the parties and their respective successors and assigns.
24. _____

IN WITNESS WHEREOF, we set our hands and seals to the agreement in duplicate the day and year first above written.

FOR Client:

BY Orlando Lopez 6/7/2017
date

PRINT [Signature]

FOR: Zambelli Fireworks Manufacturing Co.

BY Tony Sawdey 6/7/17
date

PRINT Tony Sawdey / Project Mgr.

Please sign contract where indicated for Client and return all copies for final acceptance to:

Zambelli Fireworks Manufacturing Co.
1 West Camino Real Blvd. Ste 100
Boca Raton, FL 33432
561-395-0955 FAX 561-395-1799

RESOLUTION NO.: _____

**A RESOLUTION OF THE SWEETWATER CITY COMMISSION
AUTHORIZING THE EXPENDITURE FOR THE REPAIR OF
THE ROOF AT CITY HALL; AND PROVIDING FOR
EFFECTIVE DATE.**

WHEREAS, the City needs a to have the roof repaired at City Hall repaired; and,

WHEREAS, The City of Sweetwater has requested quotes from various vendors which are attached and made part of this Resolution.; and

WHEREAS, the City is currently in need of having the roof repaired at City Hall; and,

WHEREAS, it is in the City's interest to repair the roof at City Hall to provide the necessary safety and welfare to the both employees and residents who regular use and visit City Hall; and,

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND THE CITY
COMMISSION OF THE CITY OF SWEETWATER, FLORIDA:**

Section 1. The attached quotes and exhibits are incorporated herein.

Section 2. Based on staff recommendations and the quotes provided the Mayor is authorized to have the roof repaired at City Hall repaired and is authorized to spend up to \$39,000.00 with CME Consulting, LLC d/b/a Puente Roofing Corp. as detailed in the attached exhibits and consistent with the attached quotes from the most responsible bidder.

Section 3. This resolution shall become effective upon its adoption by the City Commission and approval of the Mayor or if, vetoed, upon its reenactment by the City Commission as provided by the Charter of the City of Sweetwater.

PASSED and ADOPTED this _____ day of _____, 2019.

ORLANDO LOPEZ, Mayor

Commission President

ATTEST:

APPROVED AS TO FORM AND LEGAL
SUFFICIENCY:

CARMEN GARCIA, CITY CLERK

RAY GARCIA, CITY ATTORNEY

VOTE UPON ADOPTION:

JONIEL DIAZ COMMISSION PRESIDENT
MARCOS VILLANUEVA, COMMISSION VICE PRESIDENT
CECILIA HOLTZ-ALONSO, COMMISSIONER
DAVID BORRERO, COMMISSIONER
SAUL DIAZ, COMMISSIONER
ISIDRO RUIZ, COMMISSIONER
SOPHIA LACAYO, COMMISSIONER



Mayor Orlando Lopez

MEMORANDUM

Date: 06/21/2019
To: Honorable Orlando Lopez, Commission President and Members of
The City Commission
From: Public Works
Re: City Hall Roof

DESCRIPTION OF ITEM

City Hall roof maintenance reseal pitch pans, all roof fitting and drains. Recoat entire roof and parapets walls with 3502 silicone. Roof above it and PD will be removed and replaced with ½ insulation and new ruberoid #20 and install GAF mineral surface cap sheet membrane.

BACKGROUND

The roof at city hall has never been done only patches.

FISCAL IMPACT

The financial impact of \$39,000.00 from contingency reserved

RECOMMENDATION

We recommend to used CME Consulting LLC. DBA Puente Roofing Corp at \$39,000.00

Department / Section Director

Edward A. Rojas
Certified Roofing Contractor CCC057494
CME CONSULTING LLC
DBA PUENTE ROOFING CORP
7321 NW 46 ST., Miami, FL. 33166
786-488-9876
balza@cmeconsultingllc.com

500 SW 109 AVENUE
SWEETWATER, FL. 33174



Date: June 14, 2019
Prepared for: City of Sweetwater
Mailing Address: 500 SW 109 Avenue, Sweetwater, FL. 33174
Project Address: Same as Above
Roof Consultant: Bayardo Flores 786-752-5099
PUENTE ROOFING: Proposes to furnish labor and materials to repair and maintenance of roof areas of City of Sweetwater City Hall as per the following scope of work.

GENERAL:

1. Obtain Building Permits providing the Liability coverage requested by Building Department.
2. Keep job site in a clean and orderly manner. Clean work area at the end of the job.
3. Work consecutive days excluding inclement weather, inspections, and deliveries.
4. Provide OSHA approved ladders and equipment.
5. Provide copy of permit with approved inspections, guarantee at final payment.

DELIVERY, STORAGE OF MATERIALS:

1. Roofing materials shall be protected and properly packaged to protect against transportation damage in transit to the jobsite.
2. Store roofing materials in a safe, dry environment under a waterproof covering to prevent water damage. Allow for adequate ventilation to prevent condensation.
3. Deliver and load materials in such a way as to minimize incidental damage to landscaping and patios, home, vehicles, and exterior household equipment.

This proposal is confidential and intended solely for the use of the individual or entity to whom is addressed

Edward A. Rojas
Certified Roofing Contractor CCC057494
CME CONSULTING LLC
DBA PUENTE ROOFING CORP
7321 NW 46 ST., Miami, Fl. 33166
786-488-9876
balza@cmeconsultingllc.com

SCOPE OF WORK:

Part I: Garage/Workshop Area (Concrete Deck):

1. Area cleaning and preparation.
2. Primer Application.
3. Installation of ½" Insulation (Hot).
4. Installation of 1 Plywood Roberais #20 (Hot)
5. Installation of 3"x3" metal white
6. Installation of 1 Plywood mineral capsheet (Hot)
7. Installation of roof breather vent one way.

Part II: Office Area

1. Area Cleaning and Preparation.
2. Primer Application.
3. Silicone 3502 Application.
4. (6) Roof Drain complete maintenance.
5. A/C Pitch-pans maintenance.
6. Roof Parapet maintenance.

CLEAN UP:

All work areas are to be kept clean, clear and free of debris at all times. We will not allow trash, waste, or debris to collect on the roof. These items shall be removed from the roof daily. All tools and unused materials shall be collected at the end of each workday and stored properly off the finished roof surface and protected from exposure to the elements. We will dispose of or recycle all trash or excess material in a manner conforming to current EPA regulations and local laws. Properly clean the finished roof surface after completion, and make sure the drains and gutters are not clogged. Clean and restore all damaged surfaces to their original condition.

Notes: *(Please initial in the provided space)*

1. _____ Permit fees, licenses, insurance, trash, hauling charges, taxes and warranty are INCLUDED in price.
2. _____ Special measures (temporary blocking, etc.), if required, for water integrity test to be done by others.
3. _____ Lightweight Concrete by Others.
4. _____ No woodwork, deck work, metalwork, plastering, stucco, painting or caulking whatsoever included in this contract unless mentioned in specifications above. There are no verbal or other agreements besides this contract. The written terms herein are the only terms of this contract.
5. _____ Mechanical, A/C, Plumbing and Electrical work is not included in proposal amount. Puente Roofing will coordinate with others to facilitate work whenever is necessary.
6. _____ Proposal based on calculations derived from received plans and drawings.
7. _____ Unless otherwise stated payments are to be made as per terms dictated in this document; in the event payment is not made as stated herein, all fees incurred in collection, such as attorney fees, court costs, filings and collection agencies are to be paid by the owner.

This proposal is confidential and intended solely for the use of the individual or entity to whom is addressed

Edward A. Rojas
Certified Roofing Contractor CCC057494
CME CONSULTING LLC
DBA PUENTE ROOFING CORP
7321 NW 46 ST., Miami, Fl. 33166
786-488-9876
balza@cmeconsultingllc.com

10 Years Warranty Workmanship

We propose hereby to furnish material and labor – complete in accordance with the above specifications, for the sum of:

Total of this proposal..... \$39,000.00

Payment Schedule:

30% Deposit (\$11,700.00)

45% Upon Permit Issuance (\$17,550.00)

25% Upon Completion (\$9,750.00)

All material is guaranteed to be as specified or equal or greater quality. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance.

Acceptance of proposal – The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Edward A. Rojas
Qualifier
Puente Roofing Corp
Date (/ /)

Owner
Owner Representative
Date (/ /)

This proposal is confidential and intended solely for the use of the individual or entity to whom is addressed



Carlos E. Cintron
Finance Director

MEMORANDUM

Date: 06/18/2019

To: Alan Abolila
Director of Public Works

Thru: Carlos E. Cintron
Finance Director

From: Cesar J. Villafañá
Purchasing Agent

Re: City Hall Re-roofing Estimates

Due to an open project for the City Hall and Police Department roofs repairs/replacement, due to the damages received during Hurricane Irma on September 2017, and because of an emergency declaration recalled by the Honorable Orlando Lopez, Mayor of the City of Sweetwater, this writer submitted an announcement to vendors from the Miami-Dade area that specializes in roofing repairs. The announcement was dated May 6, 2019. The following requirements were submitted for the job.

" The City of Sweetwater is requesting from your company an estimate in reference to the re-roofing of the City Hall, Police Department and the Records/Motorcycle parking. The job is described as follows:

- 1- For the Police Department will be to tear off and remove all roofing material to a workable surface. Replacing existing counter-flashing and replace it with a new galvanized mill finish will all parapet/wall flashings that will be terminated at 8" above the finishing roof membrane, with termination bar and counter-flashing per manufacture's details and specifications. This job requires a warrantee by the manufacturer for 20 years for the materials.



Carlos E. Cintron
Finance Director

- 2- The job for the City Hall roof is described as performing repairs to existing built up roof on areas with blisters and punctures prior to receive any waterproofing application the City Hall roof. Remove loose membrane to approximately 150 linear feet, cut membrane open to allow vapors to escape and install another layer of Torch Modified membrane and counterflashing to the parapet walls. Removing existing caulking around metal counter flashing clean area to receive new polyurethane caulking. All rusted metal flashing will be cleaned and treated with anti-rust primer prior to waterproofing installation.

An adhesion test will be conducted to ensure proper adhesion to existing substrate. Seal all roof drains, scuppers and penetrations using weather coat and membrane. Furnish and install primer and GE Silicone 3502 at a rate of 1.5 gallon per 100 sq/ft on the flat roof. At all roof penetrations, seams, curbs, drains and suppers will be furnishing and received coats of flashing Elastomeric coating and GE Silicone 3502. When the job is finished all loose debris will be haul away.

- 3- A 10 years manufacturer's warranty for the City Hall roof on the silicone application."

The following companies provided the following quotes with the requirements requested by the City of Sweetwater:

All Dade General Construction, Inc.

- 1- All Dade General Construction, Inc. is licensed and quote the job for \$37,000.00. In their quote, this company indicated that the warranty for the re-roofing of the Police Department is five (5) years and for the City Hall waterproofing is five (5) years warranty.

Walker Builder Services, Inc.

- 1- Walker Builder Services, Inc. is license and insured and quoted for the job \$42,700.00 with a five (5) year contractor warranty for both jobs.



Carlos E. Cintron
Finance Director

Allied Roofing

- 1- Allied Roofing is licensed and insured and quoted for the job \$44,694.00 with a Ten (10) years manufacturer's warranty for the City Hall roof and five (5) years in the Police Department re-roofing areas.

Recommendations: Currently the only company that provided a good job description, described the products and all the applications is Allied Roofing. Allied Roofing also provided a quote of \$44,694.00 for the entire building, including the Police Department. The other two companies provided acceptable quotes, but their warranty is only for five (5) years only in both job sites

Even though Allied Roofing gave a higher price for three areas in the City Hall/Police Department roofs, this writer check references, and reviews from prior customers and the quality and satisfaction supersedes the other two companies above mentioned. It is recommended that the job be provided to Allied Roofing for the details for the job scope, material quality, work force, warranties and prior recommendations.

ALL DADE GENERAL CONSTRUCTION INC

3700 NW 13 ST
Miami FL, 33126
LIC# CGCA07527

GERSON/PEDRO DIAZ
Cell (786)344-5629
305-956-8177

CONTRACT/PROPOSAL

SUBMITTED TO: CITY OF SWEETWATER
ADDRESS OF WORK: 500 SW 109 AVE MIAMI, FL Phone: _____
We hereby submit specifications and estimate;

REROOF FLAT

Activities:

1. Clean roof
2. Replacement of damaged plywood
3. Renailing of 3 new plywood
4. INSTALATION OF ANY OTHER PLYWOOD AFTER THE FIRST 3 WILL BE CHARGED AT \$50.00 EACH WITH MATERIAL, LABOR Y RECYCELING
5. Installation of 3 new fascia boards and any other extra will be charged at \$40 each.
6. Installation bull and membrana
7. Installation of roof nails tin cap
8. Installation of roof metal 3 x 3
9. Installation of roof plomos
10. Installation of 1 75 roof paper
11. Installation of 2 plys fiberglass
12. Installation of insulation of 1/2
13. Installation of 4 layers of hot asphalt
14. Installation of 1 capsheet
15. Installation of 3 scoopers for water draining
16. Installation of wood parapet
17. Installation of termination bar
18. Installation of dry pin
19. Installation of 9 metal
20. Installation of cana strip
21. Recycling of garbage included in price

-NOTES: All material used is in compliance with the building code of Florida.

- WARRANTTY OF 5 YEARS ON FLAT ROOF

-We propose to furnish material and labor in accordance with the above specification for the sum of \$ 10,000

-Payments to ALL DADE GENERAL CONSTRUCTION INC As follow:

-At acceptance of contract \$ 40%

-Second payment \$ 40%

-At roof final \$20%

ALL DADE GENERAL CONSTRUCTION INC.

3700 NW 13ST
Miami FL, 33126
LIC#CGCA07527

PEDRO DIAZ
Cell: 786-344-5629
786-308-0003

CONTRACT/PROPOSAL

SUBMITTED TO: City of Sweetwater
ADDRESS: 500 sw 109 ave miami, FL Ph:
We hereby submit specifications and estimate

WATERPROOFING

Activities:

1. Clean roof area
2. Scrape and remove any debris
3. Sealing of all a/c systems with asphalt cement
4. Application of silicone roofing white coat to entire deck and parapet walls
5. Application of 924 silicone roofing coat
6. Installation of new water drains
7. Removal of all debris prior to final inspection

Comments: *Material, installation shall be installed according to the building code Of Florida.

-Warranty of 5 YEARS

-We propose to furnish material and labor in accordance with the above Specification's for the sum of \$27,000

-Payments to ALL DADE GENERAL CONSTRUCTION INC follow:

At acceptance of contract \$14,850 At First Inspection \$n/a At final \$14,850

Date: 5/22/19

Authorized Signature: Pedro Diaz

-ACCEPTANCE PROPOSAL/CONTRACT:

The above and reverse price, specifications and conditions are satisfactory and are hereby accepted

OWNER SIGNATURE: _____ DATE _____



LIC.# CCC1330916

18495 S. DIXIE HIGHWAY SUITE #129
MIAMI, FLORIDA 33157
305.278.9309 OFFICE

TO: CITY OF SWEET WATER
FROM: CARLOS GUTIERREZ
REF: 500 SW 109AVE.
MIAMI, FLORIDA 33174

06/07/19

PROPOSAL/ACCEPTANCE

COMMERCIAL FLAT-ROOF COATING

1. CLEAN AND PRESSURE WASH ENTIRE EXISTING ROOF MEMBRANE.
2. CUT ALL BLISTERS AND APPLY HEAT FOR MOISTURE EVAPORATION.
3. REASEAL ALL BLISTER CUTS WITH MODIFIED PG 500 AND GRANULES.
4. RESEAL ALL BLISTER CUTS WITH CLOTH AND GREEN FUDATION COAT.
5. APPLY ONE COAT OF A & B UNISIL PRIMER EVENLY AT ROOF DECKING.
6. RESEAL ALL ROOF PENETRATIONS WITH GREEN FOUNDATION AND CLOTH.
7. REMOVE ALL OLD CAULK SEALANT OFF ALL THE COUNTER FLASHINS AND INSTALL MEMBRANE CLOTH WITH WEATHERCOTE.
8. RE-FILL ALL A/C PITCH PANS WITH GEOSEAL AND WHITE GRANULES.
9. IMSTALL NEW RETROFIT DRAINS AND REPLACE ALL ROOF DRAIN DOMES IF NEEDED.
10. INSTALL NEW LEAD BOOTS AND ALL-PURPOSE VENTS OVER THE VENTS OVER THE SOIL PIPES.
11. APPLY TWO COATS OF UNISIL (GAF HS) SILICONE ROOF COATING AT ENTIRE DECK.
12. RESEAL DRAIN SCUPPERS AND A/C EQUIPMENT CURVES WITH SILICONE.
13. APPLY ONE COAT OF ELASTOMERIC AT ALL TOP WALLS EVENLY AS FINAL COAT.
14. WITH PERMIT AND INSPECTIONS BY SWEET WATER BUILDING DEPARTMENT.
14. REMOVE AND DISPOSE OF DEBRIS.

TOTAL COST: \$30,500.00

*** FIVE YEAR CONTRACTOR WARRANTY ***

***NOTE:**

- * ALL NECESSARY LICENSE AND INSURANCE FEES ARE INCLUDED IN THIS PROPOSAL.
- * ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ROOF AND BUILDING SYSTEMS PRODUCT CONTROL APPROVAL AND SOUTH FL. BUILDING CODE.
- * CONTRACTOR GUARANTEES THAT ALL MATERIALS FURNISHED WILL BE OF STANDARD QUALITY.
- * ANY ALTERATION OR DEVIATION FROM ABOVE SPECIFICATIONS INVOLVING EXTRA COSTS WILL BE EXECUTED ONLY UPON WRITTEN ORDER AND WILL BECOME AN EXTRA CHARGE OVER AND ABOVE THE ESTIMATE.

- * ALL AGREEMENTS CONTINGENT UPON STRIKES, ACCIDENTS OR DELAYS BEYOND OUR CONTROL. (OWNER IS TO CARRY FIRE, TORNADO, HURRICANE, AND OTHER NECESSARY INSURANCE).
- * OUR WORKERS ARE FULLY COVERED BY WORKMENS COMPENSATION INSURANCE.
- * **CONTRACTOR WILL REPLACE UP TO 3 BOARDS OF SHEATHING, AND 3 FASCIA BOARDS, ANY ADDITIONAL WOOD REPLACEMENT WILL BE A CHARGE OVER AND ABOVE THIS PROPOAL.THE CHARGE WILL BE \$65 PER SHEATHING BOARD AND \$65 PER FASCIA BOARD.**
- * THIS PROPOSAL IS VALID FOR 30 DAYS.
- * CONTRACTOR IS NOT RESPONSIBLE FOR UNFORSEEN OR HIDDEN CONDITION.
- * CONTRACTOR IS NOT RESPONSIBLE FOR REMOVEING OR RE-INSTALLING GUTTERS UNLESS SPECIFIED IN THIS PROPOSAL.
- * CONTRACTOR IS NOT RESPONSIBLE FOR ANY WORK INVOLVING SCREEN ENCLOSURE UNLESS SPECIFIED IN THIS ESTIMATE.
- * CONTRACTOR IS NOT RESPONSIBLE FOR GAS VENTS OR ANYTHING RELATED TO GAS VENTS.
- * PAYMENTS NOT RECEIVED IN FULL WILL RESULT IN TERMINATION OF WARRANTY.
- * PAYMENT TERMS: 35%UPON APPROVAL. 35% UPON TIN-CAP INSPECTION, AND 30% UPON COMPLETION.

APPROVED BY:_____ Date:_____

APPROVED BY:_____ Date:_____



LIC.# CCC1330916

18495 S. DIXIE HIGHWAY SUITE #129
MIAMI, FLORIDA 33157
305.278.9309 OFFICE

TO: CITY OF SWEET WATER
FROM: CARLOS GUTIERREZ
REF: 500 SW 109AVE.
MIAMI, FLORIDA 33174

06/07/19

PROPOSAL/ACCEPTANCE

COMMERCIAL FLAT-ROOF

1. REMOVE EXISTING ROOFING MATERIAL TO A WORKABLE SURFACE.
2. APPLY QUICK DRYING PRIMER AT CONCRETE DECK AND PARAPET WALLS.
3. INSTALL $\frac{3}{4}$ WOOD BLOCKING NAILER AROUND THE ROOF PERIMETER EDGE.
4. HOT MOP $\frac{3}{4}$ 4X4 PERLITE WOOD FIBER INSULATION BOARD WITH ASPHALT.
5. INSTALL 1 VENT INSULATION BREATHER PER 1000 S/F AROUND THE ROOF.
6. HOT MOP ONE LAYER OF GAF RUBEROID 20 BASE SHEET FULLY ADHERED.
7. HOT MOP ONE LAYER OF FIBERGLASS PLY 4 WITH HOT ASPHALT TYPE 4.
8. INSTALL NEW RETROFIT DRAINS AND REPLACE ALL ROOF DRAIN DOMES IF NEEDED.
9. INSTALL NEW LEAD BOOTS AND ALL-PURPOSE VENTS OR ROOF JACKS.
10. INSTALL 4X4 DRIP EDGES WHITE OR BROWN 26 GAUGE WHERE NEEDED.
11. HOT MOP ONE LAYER OF WHITE MINERAL CAPSHEET AS FINAL COAT.
12. HOT MOP RUBEROID FR GRANULATED AT PARAPET WALLS.
13. INSTALL TERMINATION BARS AND COUNTER FLASHINGS AT TOP PARAPET WALLS.
14. INSTALL WHITE MEMBRANE CLOTH AND WEATHERCOTE AT COUNTER FLASHINGS.
15. REFILL ALL NEW A/C PITCH PANS WITH HOT ASPHALT AND GRANULES.
16. INSTALL OVER FLOW EMERGENCY SCUPPERS WHERE NEEDED.
17. WITH PERMIT AND INSPECTIONS BY SWEET WATER BUILDING DEPARTMENT.
18. REMOVE AND DISPOSE OF DEBRIS.

TOTAL COST: \$12,200.00

*** FIVE YEAR CONTRACTOR WARRANTY ***

***NOTE:**

- * ALL NECESSARY LICENSE AND INSURANCE FEES ARE INCLUDED IN THIS PROPOSAL.
- * ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ROOF AND BUILDING SYSTEMS PRODUCT CONTROL APPROVAL AND SOUTH FL. BUILDING CODE.
- * CONTRACTOR GUARANTEES THAT ALL MATERIALS FURNISHED WILL BE OF STANDARD QUALITY.

- * ANY ALTERATION OR DEVIATION FROM ABOVE SPECIFICATIONS INVOLVING EXTRA COSTS WILL BE EXECUTED ONLY UPON WRITTEN ORDER AND WILL BECOME AN EXTRA CHARGE OVER AND ABOVE THE ESTIMATE.
- * ALL AGREEMENTS CONTINGENT UPON STRIKES, ACCIDENTS OR DELAYS BEYOND OUR CONTROL. (OWNER IS TO CARRY FIRE, TORNADO, HURRICANE, AND OTHER NECESSARY INSURANCE).
- * OUR WORKERS ARE FULLY COVERED BY WORKMENS COMPENSATION INSURANCE.
- * **CONTRACTOR WILL REPLACE UP TO 3 BOARDS OF SHEATHING, AND 3 FASCIA BOARDS, ANY ADDITIONAL WOOD REPLACEMENT WILL BE A CHARGE OVER AND ABOVE THIS PROPOAL.THE CHARGE WILL BE \$65 PER SHEATHING BOARD AND \$65 PER FASCIA BOARD.**
- * THIS PROPOSAL IS VALID FOR 30 DAYS.
- * CONTRACTOR IS NOT RESPONSIBLE FOR UNFORSEEN OR HIDDEN CONDITION.
- * CONTRACTOR IS NOT RESPONSIBLE FOR REMOVEING OR RE-INSTALLING GUTTERS UNLESS SPECIFIED IN THIS PROPOSAL.
- * CONTRACTOR IS NOT RESPONSIBLE FOR ANY WORK INVOLVING SCREEN ENCLOSURE UNLESS SPECIFIED IN THIS ESTIMATE.
- * CONTRACTOR IS NOT RESPONSIBLE FOR GAS VENTS OR ANYTHING RELATED TO GAS VENTS.
- * PAYMENTS NOT RECEIVED IN FULL WILL RESULT IN TERMINATION OF WARRANTY.
- * PAYMENT TERMS: 35%UPON APPROVAL. 35% UPON TIN-CAP INSPECTION, AND 30% UPON COMPLETION.

APPROVED BY: _____ Date: _____

APPROVED BY: _____ Date: _____

ROOFING PROPOSAL/CONTRACT

To: CITY OF SWEETWATER	Job Name: 500 SW 109 Ave
Address: 500 SW 109 AVE	Address: 500 SW 109 AVE
City, State: Sweetwater, FL 33174-1336	City, State: Sweetwater, FL 33174-1336

IT IS OF EXTREME IMPORTANCE THAT YOU READ AND REVIEW THIS PROPOSAL IN ITS ENTIRETY TO UNDERSTAND OUR SCOPE, WHAT WE CAN AND CANNOT DO AND WHAT WE PROPOSE AS SUBSTITUTIONS AND/OR ALTERNATES TO PLANS, DETAILS AND SPECIFICATIONS.

Key Plan:



Print Name

Print Name

Owner Purchaser Signature

Allied Roofing Ind, Inc.

Allied Roofing Ind, Inc.

7400 Big Cypress Drive * Miami Lakes, Florida 33014 * Phone: (305) 477-7810 Fax: (305) 594-9912 * CCC 044009
Mailing Address * P.O. Box 669191 * Miami, Florida 33014

Flat Roof Scope:

Tear-off / Removal	Remove roofing material to a workable surface		
Manufacturer's Warranty	<u>20</u>	Years	No dollar limit
<u>Rigid Insulation (FLAT)</u>	<u>1.5</u>	Inch (s)	Thickness
Roofing System	<u>60</u>	Mil	TPO single ply (White)
Counter-flashing replacement	Replace existing with a new one in galvanized mill finish, surface mounted		
Parapet flashing (standard)	All parapet/wall flashings will be terminated at 8" above the finished roof membrane, with termination bar and Counter-flashing , per manufacturer's details and specifications.		

*Scupper

Replace all existing with a new ones in TPO coated galvanized metal

EXCLUSIONS

Permit Fees, Walk Pads, Coping Caps, Wood Nailers (unless stated "included" in any of the details above), **Wood Blocking, Roof Hatch, Gutters, Downspouts**

Penetrations flashings (Existing) All existing will be flashed per manufacturer's standard flashing details

- This proposal is based upon maximum penetrations indicated above. Any additional penetrations will be charged as follows:
 - + (\$30.⁰⁰) Single Round Penetrations individually flashed with hand/field fabricated wrap
 - + (\$50.⁰⁰) Single Square Penetrations individually flashed with hand/field fabricated wrap
 - + (\$89.⁰⁰) Single Round Penetrations individually flashed with manufacturer's prefabricated split pipe
 - + (\$122.⁰⁰) Angular penetration or small cluster of penetrations flashed with a manufacturer standard prefabricated sealant pocket
 - + (**Market Price**) Angular penetration or small cluster of penetrations flashed with a manufacturer custom made prefabricated sealant pocket
- There will be no adjustment in price if there are less than the numbers quoted above.
- All penetrations, curbs, walls, parapets and other flashings require a minimum of 8" clearance above the finished roof membrane, as per Florida Building Code.

Roof area See key plan

Roof Coating Scope:

Preparation:

- Field Membrane: Power wash entire roof using a UCC cleaner to remove oils and contaminants from existing roof membrane.
- Perform repairs to existing built up roof on areas with blisters and punctures prior to receive any waterproofing application.
- At parapet wall repairs: Remove loose membrane approximately 150 linear feet, cut out membrane open to allow vapors to escape and install another layer of Torch Modified membrane and counter flashing.
- Remove existing caulking around metal counter flashing clean area and prepare to receive new

Print Name

Print Name

Owner Purchaser Signature

Allied Roofing Ind, Inc.

Allied Roofing Ind, Inc.

Polyurethane caulking.

- All rusted metal flashing will be cleaned using a wire brush and treated with anti rust primer prior to any waterproofing installation.
- Furnished and install Flexseal around entire parapets wall.

Application:

- Adhesion test required to ensure proper adhesion to existing substrate.
- Seal all roof drains, scuppers, and penetrations using weather coat and membrane
- Furnish and install primer to areas with existing silicone to insure proper adhesion
- Furnish and install GE Silicone 3502 at a rate OF 1.5 gallons per 100 sq/ft
- At flashing membrane: Furnish and install Flashing Grade Elastomeric coating and membrane to seal entire top of parapet wall up to metal counter flashing
- Treat all roof penetrations, seams, drains curbs and scuppers using a flashing grade Elastomeric and membrane
- Furnish and install GE Silicone 3502 to top of parapet wall, penetrations, seams, curbs, drains and scuppers.
- Pick up all loose debris and haul away

Price **\$44,694.⁰⁰**

Payment terms:

\$44,694	Total Amount
\$4,023	At contract signing
\$18,325	At material loading
\$17,877	At 50% completion
\$4,469	At job completion

Print Name

Print Name

Owner Purchaser Signature

Allied Roofing Ind, Inc.**Allied Roofing Ind, Inc.**

Notes:

GENERAL

1. This proposal may be withdrawn by us if not accepted within 30 days.
2. Replacement and/or installation of Electrical, plumbing and HVAC penetrations shall be by others.
3. Allied Roofing has no control over material price increases, in the event of a natural disaster, Act of Terrorism, or an Act of God. As any additional cost, due to the aforementioned conditions will be passed on to the customer as they have been passed on to Allied Roofing.
4. Allied Roofing Ind, Inc disclaims any and all responsibility for pre-existing conditions including, but not limited to: structural damage or deficiencies, clogged drains, mold growth, excessive standing water, removal of hazardous material and interior damage as a result of existing leaks.

INCLUDED

1. Any additional fees for financing, payment processing programs, etc.
2. Permit processing (**FEES EXCLUDED**).
3. Roofing Licenses.
4. Allied Roofing's Standard insurance.
5. Applicable local and state sales tax.
6. Crane for hoisting and lowering of materials and equipment.

EXCLUDED

- 1) Roofing Permit fees:
 - a) In the South Florida Market, of approximately 80 permitting municipalities, each one has its own fee schedules, which may change prior to and/or during our project bidding and contract negotiations. In an effort to be fair to our clients and Allied Roofing as a vendor, **WE HAVE EXCLUDED THE PERMIT FEES.**
- 2) All indicated in "EXCLUSIONS" of the scopes of work above.
- 3) Engineering calculations, other than the indicated above in inclusions.
- 4) Special permitting beyond the normal conditions for roofing.
- 5) Mechanical, Plumbing, Carpentry, Electrical, Masonry, and Painting work of any kind.
- 6) Unforeseen conditions not shown or indicated on the provided set of blueprints.
- 7) Unforeseen conditions implemented by the building department or building inspector.
- 8) All lightning protection is to be installed by others. Flashing of Lightning protection.
- 9) Payment & Performance Bond.
- 10) Certified payroll, DAVIS-BACON WAGES, MIAMI-DADE COUNTY RESPONSIBLE WAGES AND BENEFITS.

Print Name

Print Name

Owner Purchaser Signature

Allied Roofing Ind, Inc.

Allied Roofing Ind, Inc.



TERMS AND CONDITIONS OF CONTRACT

Prior to executing this contract, read it thoroughly and verify that it does not contain any blank spaces. Upon execution, you are entitled to an original duplicate of this contract.

NO GUARANTEES SHALL APPLY UNTIL THE CONTRACT IS PAID-IN-FULL. In the event that there is a lapse of time between completion of the work and final payment, the guarantee, when issued, shall be dated as of the date work was completed.

In the performance of this agreement ALLIED ROOFING hereafter referred to as ALLIED, will not be responsible and shall be relieved of any liability for any damage caused by hail, tempest, hurricanes, gale winds, unusual weather conditions, or inherent defects in the premises on which work is to be done.

ANY LEGAL EXPENSES INCURRED BY ALLIED FOR COLLECTION OF THE CONTRACT PRICE OR ANY INSTALLMENTS DUE THEREUNDER SHALL BE PAID BY THE OWNER WHETHER SUIT BE FILED OR NOT. If money for work is lost on this project and/or location for work performed, under this contract where the lost results from specified violations of Florida Law by a State-Licensed Contractor, Allied Roofing may recover such funds from the Construction Industry Recovery Fund in accordance with Florida Construction Laws, Section 489.143.

All notices for guarantee work shall be made upon ALLIED in writing, by certified mail. ALLIED shall undertake any guarantee repairs within a reasonable time after written notice. Any work done or attempted to be done on the roof other than by ALLIED shall void the guarantee.

This contract only covers the work specifically set forth herein. The contract does not cover any additional work found necessary after commencement of the job. Owner agrees to execute any addendums to this contract necessary to cover the additional work.

ALLIED reserves the right to cease performing under this contract in the event that the owner fails to make any installment payment within 5 days its due date.

ALLIED shall be relieved of its obligation to timely perform under this contract in the event of material shortages, labor disputed or strikes beyond the control of ALLIED.

All payments due under this contract unless timely made shall bear interest at the maximum legal rate.

There are no representations either oral or written other than those set forth on this contract.

In the event that the owner notifies ALLIED that work can be commenced and ALLIED incurs expense by sending men to the job and it is determined that it is impossible for ALLIED to commence the work at that time, owner agrees in addition to the contract price, to compensate ALLIED at its current rate for the expenses incurred by ALLIED.

Prior to ALLIED commencing work, owner at owner's expense agrees to:

- a. Provide a clean roof deck free of rubbish, chips, nails and other foreign debris which shall be loosened and swept up and removed therefrom.
- b. All decks shall be properly graded to outlets and formed so as to drain all water from roof. In the event that it is necessary for ALLIED to provide any item stated above, owner agrees such shall be an extra and shall be paid for by the owner.

The contract pricing reflects ALLIED having access to eaves of roof for trucks and equipment, including cranes. Any work not specified is additional to the contract price.

If concealed or unknown physical conditions of an unusual nature (including asbestos) are encountered at any time, then ALLIED shall be entitled to an adjustment of the contract sum and time for any performance to the extent that the condition causes an increase in the cost, or time required for the completion of the work. Provided ALLIED promptly notifies the owner of the subject condition, it is agreed that ALLIED shall have no responsibility to correct the condition or complete any portion of the work dependent thereon, until an agreement regarding the equitable adjustment of the contract sum is reached by the parties.

No engineering calculations are included in the above contract price. If these are necessary to obtain permitting they are the responsibility of the property owner. If this changes the scope of the work, the price will be adjusted accordingly.

The removal and replacement of air conditioning units, ductwork and related electrical to facilitate replacement of this roof, is additional to the contract price and is the owner's responsibility.

All work is to be performed in a workman-like manner.

ALLIED will use caution when working; however, except for proven negligence, ALLIED cannot be held responsible and shall be relieved of any liability for interior or exterior damage to building, its contents or surrounding property including plaster (such as cracks, small pops, or water damage), paint, furnishings, personal belongings, lawns, shrubbery, sidewalks, driveways, sprinkler systems, water lines, septic tanks or lines, antennas, fiberglass or plastic roofs, screens or screen enclosures, pool, pool pumps, patios, washers, dryers, tools, vehicles, solar heaters, etc.

Except for the replacement of rotted or damaged wood which is performed under the woodwork clause above, ALLIED and the owner or its agent agree that this contract and price are based on the belief that the structure on which the work is to be performed is sound and built in accordance with local codes. Should work be needed for it to conform to the above, the owner will be given the option to stop the work and pay for work performed to that point or sign another agreement to perform the needed work before the work under this contract can be completed.

Please be advised, in the areas where you have open beam ceiling there may be light debris and small rocks sifting through the sheathing boards. Please take precautions to protect any items that you do not wish to be soiled. Any loose objects should be taken down or secured. Vehicles should not be left in garage or driveways while work is in progress.

Should the owner or tenant not be present a phone number where he or she can be contacted in case of emergency, must be left with ALLIED.

Print Name

Print Name

Owner Purchaser Signature

Allied Roofing Ind, Inc.

Allied Roofing Ind, Inc.

7400 Big Cypress Drive * Miami Lakes, Florida 33014 * Phone: (305) 477-7810 Fax: (305) 594-9912 * CCC 044009
Mailing Address * P.O. Box 669191 * Miami, Florida 33014

Owner will be responsible for painting or staining any new wood or metal.

We cannot assume responsibility for any damages done to the roof by plasterers, plumbers, electricians, air conditioning men, and/or any other tradesmen or persons.

Owner to be responsible for notifying ALLIED as to the location of septic tank.

In a re-roof or recover application of a Minimum Roof Covering or a Roof System Assembly, the new roof system shall be constructed in such a manner as to minimize ponding water. Should ponding water be present in the final application in an area greater than 5% of the total roof area,

Allied Roofing shall provide Owner and a copy to the Building Official advising of the existing ponding water.

This letter shall recommend a structural review and shall advise of the potential of premature deterioration of the roof membrane. Any alteration or deviation from the specification will become an extra charge and must be agreed to in writing by both parties.

If this agreement includes a guarantee you may assign said guarantee to a subsequent owner of this building for the remaining term only if: 1) The request is in writing within 180 days after ownership transfer; 2) You make any repairs to the roofing materials or building components that are identified by ALLIED after an inspection as necessary to preserve the integrity of the roofing materials; 3) You pay an assignment fee of \$ 500.00. This Guarantee is NOT otherwise assignable, directly or indirectly.

This agreement constitutes the entire understanding of the parties and no other understanding shall be binding unless in writing and signed by both parties.

LUMBER CHARGES:

Furring Strip	\$2.00 per lineal foot
Fascia Board 1" X 6"	\$6.50 per lineal foot
Fascia Board 1" X 8"	\$7.00 per lineal foot
Fascia Board 2" X 4"	\$7.50 per lineal foot
Fascia Board 2" X 8"	\$9.00 per lineal foot
Tongue & Groove 1" X 6" Sheathing	\$3.50 per lineal foot
Plywood 5/8" Sheathing	\$3.50 per square foot
Plywood 3/4" Sheathing	\$4.50 per square foot
T - 111 1/2" Sheathing	\$5.00 per square foot
T - 111 5/8" Sheathing	\$5.50 per square foot
T - 111 Pressure Treated	\$6.00 per square foot
Truss Reinforcement 2" X 4"	\$6.50 per lineal foot
Truss Reinforcement 2" X 6"	\$7.50 per lineal foot
Truss Reinforcement 2" X 8"	\$9.50 per lineal foot

Note: all pressure treated fascia or trusses will be an additional \$0.50 per lineal foot. All cedar wood will be an additional \$3.00 per lineal foot.

CONSTRUCTION INDUSTRIES RECOVERY FUND:

PAYMENT MAY BE AVAILABLE FROM THE CONSTRUCTION INDUSTRIES RECOVERY FUND IF YOU LOSE MONEY ON A PROJECT PERFORMED UNDER CONTRACT, WHERE THE LOSS RESULTS FROM SPECIFIED VIOLATIONS OF FLORIDA LAW BY A STATE-LICENSED CONTRACTOR. FOR INFORMATION ABOUT THE RECOVERY FUND AND FILING A CLAIM, CONTACT THE FLORIDA CONSTRUCTION INDUSTRY LICENSING BOARD AT THE FOLLOWING TELEPHONE NUMBER AND ADDRESS:

Florida Construction Industry Licensing Board
7960 Arlington Expressway, Suite 300
Jacksonville, Florida 32211-7467
Phone: (904) 727-6530

Print Name

Print Name

Owner Purchaser Signature

Allied Roofing Ind, Inc.

Allied Roofing Ind, Inc.

7400 Big Cypress Drive * Miami Lakes, Florida 33014 * Phone: (305) 477-7810 Fax: (305) 594-9912 * CCC 044009
Mailing Address * P.O. Box 669191 * Miami, Florida 33014

713.015

ACCORDING TO FLORIDA'S CONSTRUCTION LIEN LAW_ (SECTION 713.001-713.37, FLORIDA STATUTES), THOSE WHO WORK ON YOUR PROPERTY OR PROVIDE MATERIALS AND ARE NOT PAID IN FULL, HAVE A RIGHT TO ENFORCE THEIR CLAIM FOR PAYMENT AGAINST YOUR PROPERTY. IF YOUR CONTRACTOR OR A SUBCONTRACTOR FAILS TO PAY SUBCONTRACTORS, SUB-SUBCONTRACTORS OR MATERIAL SUPPLIERS, THE PEOPLE WHO ARE OWED MONEY MAY LOOK TO YOUR PROPERTY FOR PAYMENT EVEN IF YOU ALREADY PAID YOUR CONTRACTOR IN FULL. IF YOU FAIL TO PAY YOUR CONTRACTOR, YOUR CONTRACTOR MAY ALSO HAVE A LIEN ON YOUR PROPERTY. THIS MEAN IF A LIEN IS FILED, YOUR PROPERTY COULD BE SOLD AGAINST YOU'RE YOUR WILL TO PAY FOR LABOR, MATERIALS OR OTHER SERVICES_ THAT YOUR CONTRACTOR OR A SUBCONTRACTOR MAY HAVE FAILED TO PAY. TO PROTECT YOURSELF, YOU SHOULD STIPULATE IN THIS CONTRACT THAT BEFORE ANY PAYMENT IS MADE, YOUR CONTRACTOR IS REQUIRED TO PROVIDE YOU WITH A WRITTEN RELEASE OF LIEN FROM ANY PERSON OR COMPANY THAT HAS PROVIDED TO YOU A "NOTICE TO OWNER". FLORIDA'S ONSTRUCTION LIEN IS COMPLEX AND IT IS RECOMMENDED THAT YOU CONSULT AN ATTORNEY

Acceptance of Agreement- The above prices, specifications, and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined.

Print Name

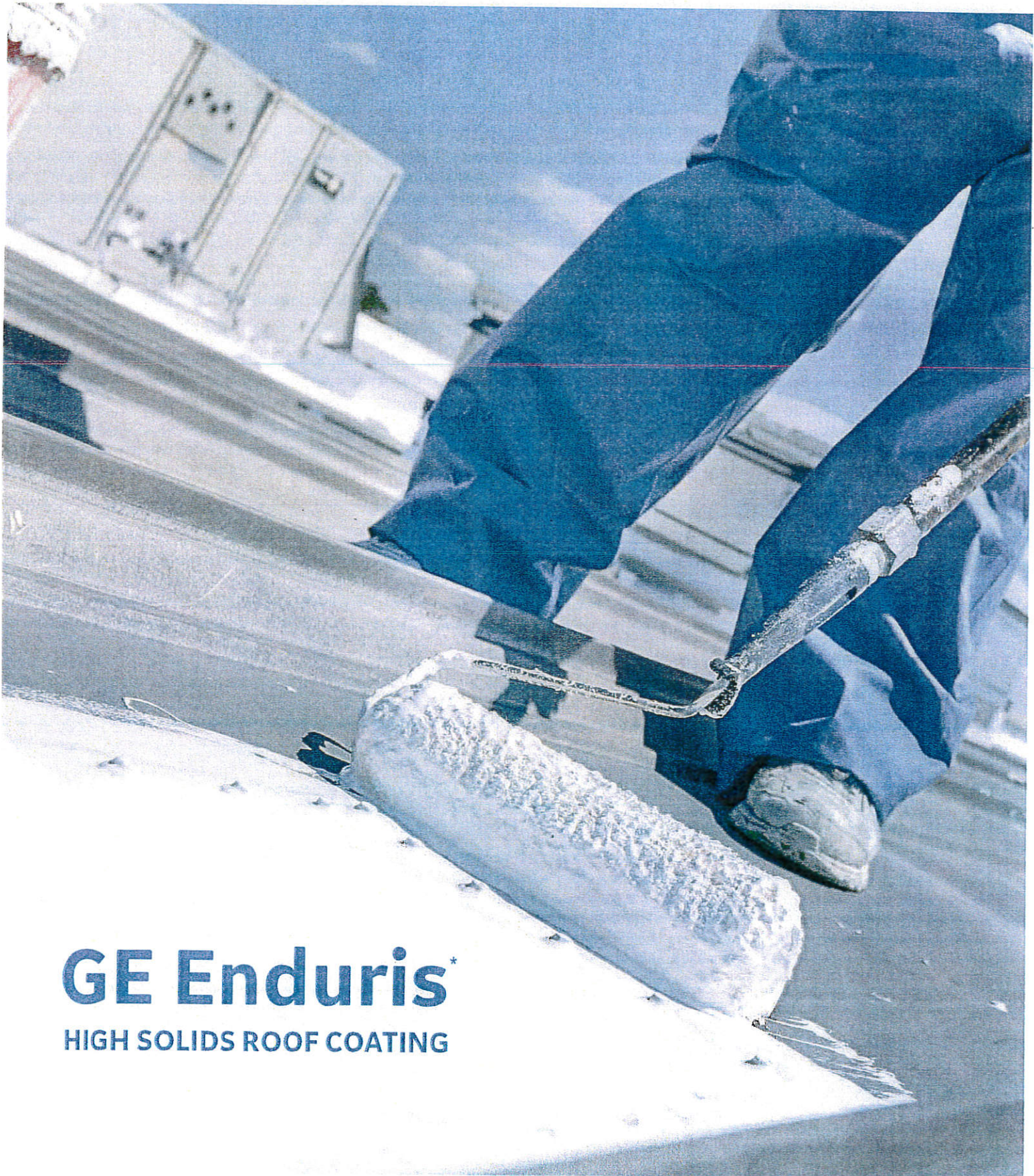
Print Name

Owner Purchaser Signature

Allied Roofing Ind, Inc.**Allied Roofing Ind, Inc.**



GE Silicones



GE Enduris^{*}

HIGH SOLIDS ROOF COATING

Add Decades to Roof Life in Days

Roofs have it hard. A typical flat roof can experience a 60° C temperature shock from 75°C at the hottest peak to 15° C ambient temperature at night. This constant temperature fluctuation and UV exposure can create tremendous strain over time. Most commonly, roofs fail where dissimilar materials meet at penetrations, seams and edges. Minor structural issues can cause additional challenges such as poor drainage and ponding water.

For over 50 years, professionals have trusted GE Silicons products to deliver durable, long-lasting building solutions. The GE Enduris® roof coating system is a fast, efficient and economical alternative to replacement. Based on GE-heritage technology, the GE Enduris system is backed by world-class technical support and a 10-, 15- or 20-year warranty.

Restore with Silicone

A seamless, stable and energy-efficient coating can dramatically extend roof life expectancy, delaying the need for a costly, time-consuming replacement project.

Silicone is inherently durable and permanently flexible. Unlike acrylic, polyolefin, asphaltic and carbon-based polymer chains, silicone is completely UV stable, providing the maximum long-term performance against weather and atmospheric conditions. The entire GE Enduris roof coating system is made from the same 100% silicone, allowing it to expand and contract at the same rate, helping prevent leaks that may result in mold, mildew, wood rot and rust. A white silicone coating also reflects the sun's rays to better control inside temperatures.

Restore with Confidence

Silicone remains stable, flexible and virtually unaffected by daily and seasonal temperature extremes. It will not become brittle or harden as the system ages. The GE Enduris system provides exceptional, long-term performance.

Ponding water

While acrylic coatings tend to fail at the seams, penetrations and edges, especially where water ponds, GE Enduris roof coatings stand up to ponding water.

Full compatibility

Using only 100% silicone components that are chemically and adhesively compatible, GE Enduris roof coating helps prevent water leakage, mold/mildew, wood rot and metal rust.

Life cycle cost

Primerless, single-coat application brings efficiency and cost savings to the installation process. Longterm durability promotes a lower total life cycle cost.

Best-in-class elongation

By remaining flexible with daily and seasonal temperatures throughout the life of the building, this system offers best-in-class elongation, both initially and after decades of exposure.

Energy savings

Energy savings versus a darker roof can be

RESTORE VIRTUALLY ANY EXISTING ROOF TYPE

GE Enduris restoration systems appropriate over most structural sound existing roofing systems including:

- Single-ply membranes (TPO, EPDM, PVC)
- Bituminous membranes
- Metal
- Concrete
- SPF PU Foam

Contact us for applications to additional substrates

GE Enduris Three-Component





GE Silicones

Benefit Now and Later



Time and labor savings

With no primer required on coated and uncoated roofing membranes, this system can offer significant cost savings associated with labor, primer and time delays.



Full compatibility

Can be applied to most existing roof types including bituminous membranes, singleply (TPO, PVC, EPDM), PU SPF foam, concrete and metal.



Cold & Hot weather application

GE Enduris® 3500 coating can be rolled or sprayed in temperatures as low as -17°C without freezing and as high as +49°C, helping to extend the roofing season and avoid project delays.



Simplicity & Integrity From a Trusted Brand

With over five decades of superior product performance, the GE Enduris 100% silicone roof coating system can bring confidence and compliance to roof restorations and repairs. Simplified installation promotes safety and improves efficiency, helping to ensure that the job is done right every time.

We Stay on Top of It All

In addition to a proven roofing system from a trusted leader, we offer assistance from a project's inception to completion. With decades of experience on some of the world's most innovative structures, the team provides a wealth of knowledge and support to help deliver results including:

1. Project Review

Review of project details to assist with product selection and application based on usage criteria, specifications and customer needs.

2. Drawing Details

Assist in developing drawing details that address project-specific terminations, transitions and penetrations.

3. Project Testing

On-site testing for substrate adhesion or compatibility with other building materials if necessary.

4. Project Warranty*

Warranties are offered for long-term assurance.

Ready to start your next project?

Contact us: siliconeforbuilding.com

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*Enduris is a trademark of Momentive Performance Materials Inc.

Warranty Program for GE Enduris* Silicone Coatings

Limited Product Warranty

Ten (10) Year, Fifteen (15) Year and Twenty (20) Year Limited Product Warranties are available for the GE Enduris Series Silicone roof coatings from Momentive Performance Materials Inc. (MPM). There is **no fee** for these warranties and the only requirement is the submittal of a completed MPM Warranty Request Form. Third party independent inspections are not required. Specific conditions, limitations and remedies are identified in the warranty documents. Sample warranties are available upon request.

Limited Labor & Material Warranty

Ten (10) Year, Fifteen (15) Year and Twenty (20) Year Limited Labor & Material Warranties are available for the GE Enduris Series Silicone roof coatings from Momentive Performance Materials Inc. (MPM) and our Approved Contractors. These warranties cover labor and materials necessary to repair leaks due to deterioration of the GE Enduris silicone coating roof restoration system as a result of ordinary weather conditions. Specific conditions, limitations and remedies are identified in the warranty documents. Sample warranties are available upon request.

There is a fee for these warranties and a third party inspection is required. Additionally, to be eligible for a Limited Labor & Material Warranty, a Pre-Job Warranty Request Form must be filled out, submitted to Penta Roofing Consultants, and approved by both Penta and MPM Technical Staff prior to the start of the project. All Limited Labor & Material Warranties must be pre-approved by MPM prior to job start.

NOTE: Minimum dry film thickness requirements do not include joints, seams, flashings, cracks, splits, protrusions, drains other details where additional coating may be required. Coverage rates and gallons per square shown are approximate and do not include material losses during application. Moreover, certain surfaces may require additional coating or back rolling to achieve minimum millage requirements. Application rates, recommended coverage and millage requirements are the same for Limited Product Warranties and Limited Labor & Material Warranties.



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Products

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Warranty Program for GE Enduris* Silicone Coatings

Warranty Period	10 Year		15 Year		20 Year	
Substrate	Min dry mils	**Approx Gal/Sq	Min dry mils	**Approx Gal/Sq	Min dry mils	**Approx Gal/Sq
Metal <i>Enduris 3400 or Enduris 3500</i>	21	Enduris 3400 1.9 Enduris 3500 1.5	28	Enduris 3400 2.6 Enduris 3500 2.0	36	Enduris 3400 3.3 Enduris 3500 2.5
BUR/ Asphalt <i>Enduris 3500 ONLY</i> <i>*May require Bleed Blocker basecoat at 1 gal/100 sf</i>	21	1.5	28	2.0	36	2.5
Modified Bitumen <i>Enduris 3500 ONLY</i> <i>*May require Bleed Blocker basecoat at 1 gal/100 sf</i>	21	1.5	28	2.0	36	2.5
TPO, PVC CPE, Hypalon <i>Enduris 3500 ONLY</i>	21	1.5	28	2.0	36	2.5
EPDM <i>Enduris 3500 ONLY</i> <i>*Requires EPDM Wash at 1 gal/500 sf</i>	21	1.5	28	2.0	36	2.5
Structural Concrete <i>Enduris 3400 or Enduris 3500</i>	21	Enduris 3400 1.9 Enduris 3500 1.5	28	Enduris 3400 2.6 Enduris 3500 2.0	36	Enduris 3400 3.3 Enduris 3500 2.5
SPF <i>Enduris 3400 or Enduris 3500</i>	21	Enduris 3400 1.9 Enduris 3500 1.5	28	Enduris 3400 2.6 Enduris 3500 2.0	36	Enduris 3400 3.3 Enduris 3500 2.5
Warranty Type	10 Year Material	10 Year Labor & Material	15 Year Material	15 Year Labor & Material	20 Year Material	20 Year Labor & Material
Warranty Fee	No charge	\$1500 plus \$0.03/sf	No charge	\$1500 plus \$0.05/sf	No charge	\$1500 plus \$0.07/sf

** Minimum dry film thickness requirements do not include joints, seams, flashings, cracks, splits, protrusions, drains other details where additional coating may be required. Coverage rates and gallons per square shown are approximate and do not include material losses during application. Moreover, certain surfaces may require additional coating or back rolling to achieve minimum millage requirements.

Foam warranty does not include the foam.

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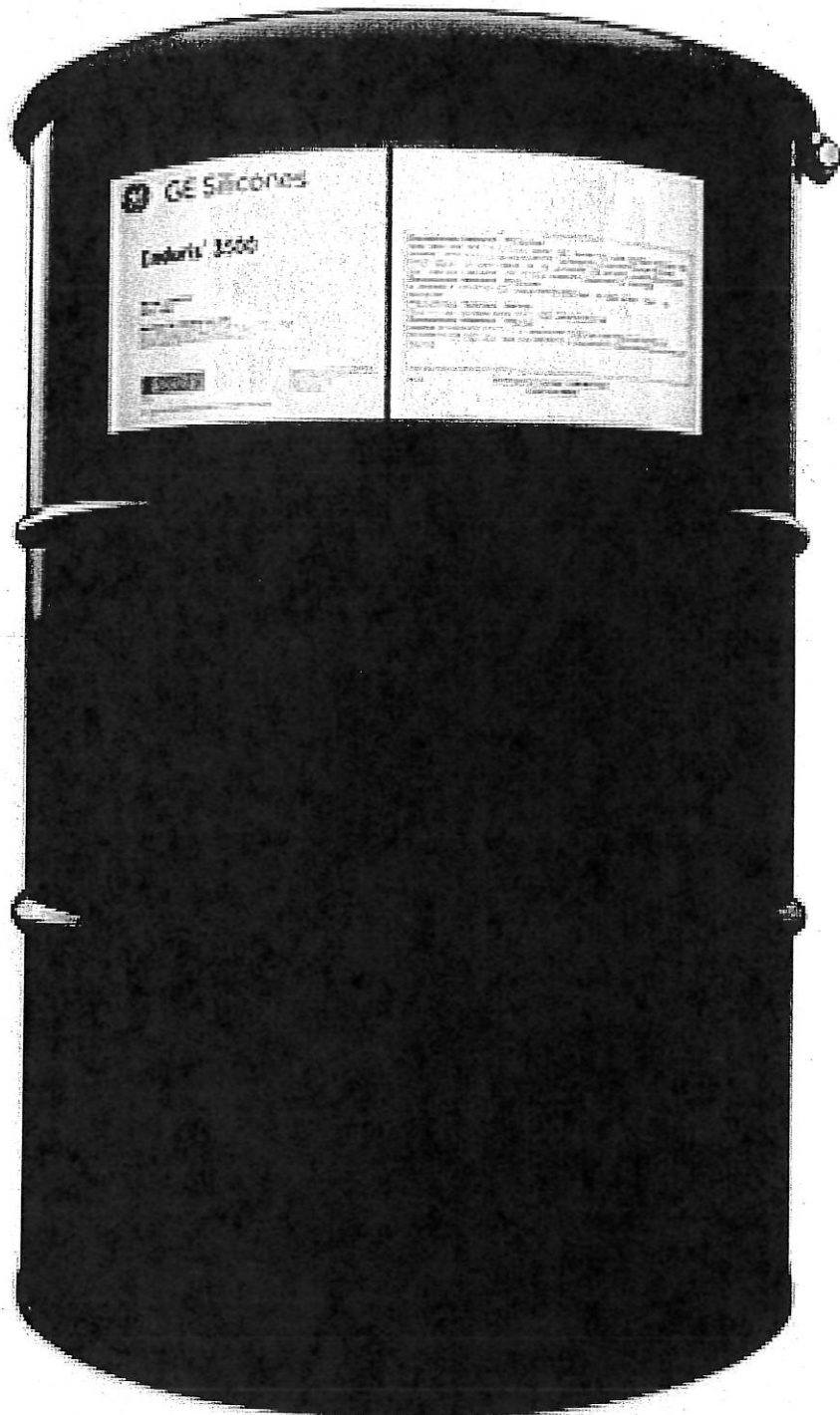


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Enduris* 3500 Coating

Prevent leaks. Extend roof life. Reduce maintenance costs.



[Air and Water-Resistive Barrier Coatings \(/Product-Categories/100-Silicone-Air-Water-Resistive-Barrier.aspx\)](#)

<https://www.siliconeforbuilding.com/Product-Categories/Roofing-Restoration-Systems/GE-Enduris-3500-Roof-Coating.aspx>



Roof Coatings (/Product-Categories/Roofing-Restoration-Systems.aspx)



Enduris* 3400 Coating (/Product-Categories/Roofing-Restoration-Systems/GE-Enduris-3400-Roof-Coating.aspx)

Enduris* 3500 Coating (/Product-Categories/Roofing-Restoration-Systems/GE-Enduris-3500-Roof-Coating.aspx)

Enduris* Asphalt Bleed Blocker (/Product-Categories/Roofing-Restoration-Systems/GE-Enduris-Asphalt-Bleed-Blocker.aspx)

Enduris* EPDM Wash (/Product-Categories/Roofing-Restoration-Systems/GE-Enduris-EPDM-Wash.aspx)

Enduris* Liquid Flashing (/Product-Categories/Roofing-Restoration-Systems/Enduris-Liquid-Flashing.aspx)

RF100 Reinforcing Fabric (/Product-Categories/Roofing-Restoration-Systems/GE-RF100-Reinforcing-Fabric.aspx)

Architectural Coatings (/Product-Categories/Architectural-Coatings.aspx)



Structural Glazing (/Product-Categories/Structural-Glazing.aspx)



Residential Glazing (/Product-Categories/Glazing.aspx)



Insulating Glass (/Product-Categories/Insulating-Glass.aspx)



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Specialty (/Product-Categories/Specialty.aspx)



Overview



Performance



Aesthetics



Available Packaging



Downloads

DATA SHEETS

- Enduris Bleed Blocker Data Sheet (/getattachment/1ebf79e2-8460-452e-9024-d8f7ad7c6a6e/.aspx)
- Enduris Liquid Flashing Data Sheet (/getattachment/c397cb5c-878d-4cb1-bca1-59926ed34fb8/.aspx)
- EPDM Wash Data Sheet (/getattachment/a9643656-c45b-41ab-8728-5332c8c52803/.aspx)
- Enduris 3500 Data Sheet (/getattachment/32342a27-aadb-48a4-b2e6-a5784dbd9c06/.aspx)

SPECIFICATIONS


- Enduris 3500 RC Asphaltic 10-Yr. (/getattachment/4f765639-e2dd-4fbf-a3f8-8da4c0937940/.aspx)
- Enduris 3500 RC Asphaltic 15-Yr. (/getattachment/d53eff0e-f75f-47e9-a77f-45760e11ffdd/.aspx)
- Enduris 3500 RC Asphaltic 20-Yr. (/getattachment/2d179695-8bed-43da-aaae-e73ced2c4339/.aspx)
- Enduris 3500 RC Metal 15-Yr. (/getattachment/423d802a-dd22-4177-9671-978461ee7986/.aspx)
- Enduris 3500 RC Metal 20-Yr. (/getattachment/fd2b8444-5147-4b23-bc08-4a0b1959f0ba/.aspx)
- Enduris 3500 RC Single Ply 10-Yr. (/getattachment/2fb5416f-c6c7-4b9c-8129-671881ab9525/.aspx)
- Enduris 3500 RC Single Ply 15-Yr. (/getattachment/5caa01aa-3767-4a8c-a142-5afa94e4ad5b/.aspx)

 [Enduris 3500 RC Single Ply 20-Yr. \(/getattachment/4147bb4f-cf3c-42a0-8093-7c2dbef97fd0/.aspx\)](/getattachment/4147bb4f-cf3c-42a0-8093-7c2dbef97fd0/.aspx)

DETAIL DRAWINGS

 [Enduris Detail Drawings \(/getattachment/05f81a19-2d5f-4e31-8a30-c258b877bec9/.aspx\)](/getattachment/05f81a19-2d5f-4e31-8a30-c258b877bec9/.aspx)


TECHNICAL DOCUMENTS

 [Buy American \(ARRA\) \(/getattachment/c0c11503-9e05-44e8-a1d5-31cb9327096d/.aspx\)](/getattachment/c0c11503-9e05-44e8-a1d5-31cb9327096d/.aspx)

SELL SHEETS

-  [Enduris Brochure \(/getattachment/1f935a1f-63ec-47f9-aafa-8e4e450a9453/.aspx\)](/getattachment/1f935a1f-63ec-47f9-aafa-8e4e450a9453/.aspx)
-  [Enduris Building-Owner Sell Sheet \(/getattachment/2385e180-e920-41a1-83b1-995b673f2410/.aspx\)](/getattachment/2385e180-e920-41a1-83b1-995b673f2410/.aspx)
-  [Enduris Contractor Sell Sheet \(/getattachment/27660fe9-5654-4fc1-b034-63c3cc517068/.aspx\)](/getattachment/27660fe9-5654-4fc1-b034-63c3cc517068/.aspx)

SAFETY DATA SHEETS

 [Enduris 3500 SDS \(/getattachment/5b36c96d-f6e1-40cf-b117-942b9aa52499/.aspx\)](/getattachment/5b36c96d-f6e1-40cf-b117-942b9aa52499/.aspx)

CASE STUDY DOCUMENTS

-  [Defense Logistics Agency \(/getattachment/a1adafed-9141-436a-8f19-4b64db29f478/.aspx\)](/getattachment/a1adafed-9141-436a-8f19-4b64db29f478/.aspx)
-  [Park Plaza Shopping Mall \(/getattachment/9ec035d0-07a7-4b5b-bc60-ee88e7107c90/.aspx\)](/getattachment/9ec035d0-07a7-4b5b-bc60-ee88e7107c90/.aspx)
-  [Villa Caletas Hotel \(/getattachment/f1c821b1-669b-4dd0-adab-5d774c712404/.aspx\)](/getattachment/f1c821b1-669b-4dd0-adab-5d774c712404/.aspx)
-  [NMA Corporate Case Study \(/getattachment/522032d7-5211-4571-b3e3-580a1d0f5ca9/.aspx\)](/getattachment/522032d7-5211-4571-b3e3-580a1d0f5ca9/.aspx)
-  [Georgia Tech Case Study \(/getattachment/a30bd6df-e8d4-43d6-b2c6-596b7f0adbaa/.aspx\)](/getattachment/a30bd6df-e8d4-43d6-b2c6-596b7f0adbaa/.aspx)

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Defense Logistics Agency (/Resources/Case-Studies/Defense-Logistics-Agency.aspx)

The federal Defense Logistics Agency (DLA) first chose the waterproof Enduris* silicone roof coating by GE Silicones for its Scotia facility in 1996. Over two decades later, DLA selected Enduris coating once again to restore and protect its roof.

[Read More \(/Resources/Case-Studies/Defense-Logistics-Agency.aspx\)](/Resources/Case-Studies/Defense-Logistics-Agency.aspx)

Villa Caletas Hotel (/Resources/Case-Studies/Villa-Caletas-Hotel.aspx)



(/Resources/Case-Studies/Villa-Caletas-Hotel.aspx)

As a high performance, liquid-applied roofing membrane, Enduris roof coating isn't just great for looks—it can also perform in the most challenging of climates. Located in a lush tropical jungle, the luxury Villa Caletas Hotel faced numerous waterproofing challenges. It was time for a refresh of every roof in the complex.

[Read More \(/Resources/Case-Studies/Villa-Caletas-Hotel.aspx\)](/Resources/Case-Studies/Villa-Caletas-Hotel.aspx)



(/Resources/Case-Studies/Park-Plaza-Shopping-Mall.aspx)

Park Plaza Shopping Mall (/Resources/Case-Studies/Park-Plaza-Shopping-Mall.aspx)

Though the Park Plaza Shopping Mall had just 30,000 total square feet of roofing, the individual sections for its many businesses were in different states of disrepair. The GE Silicones Enduris Roof Coating system was “perfect” for this complex challenge.

[Read More \(/Resources/Case-Studies/Park-Plaza-Shopping-Mall.aspx\)](/Resources/Case-Studies/Park-Plaza-Shopping-Mall.aspx)



(/Resources/Case-Studies/NMA-Corporate.aspx)

NMA Corporate (/Resources/Case-Studies/NMA-Corporate.aspx)

After 19 years, the bituminous roof on the NMA Corporate building was badly worn down. Tired of finding new leaks and a cycle of constant upkeep, NMA recognized GE Enduris 100% silicone system as their answer to both restoring the roof and extending its lifespan by decades.

[Read More \(/Resources/Case-Studies/NMA-Corporate.aspx\)](/Resources/Case-Studies/NMA-Corporate.aspx)



(/Resources/Case-Studies/georgia-tech.aspx)

O. Lamar Allen Sustainable Education Building (/Resources/Case-Studies/georgia-tech.aspx)

When a class at Georgia Tech University was tasked with identifying ways to reduce carbon emissions on campus, GE Enduris roof coating helped make one team's solution a reality. In their research, the students found that applying the 100% silicone, high-solids roof coating on the O. Lamar Allen Sustainable Education Building would give it a “cool roof”: absorbing less heat, and in turn, lowering HVAC use and helping to minimize its energy footprint.

[Read More \(/Resources/Case-Studies/georgia-tech.aspx\)](/Resources/Case-Studies/georgia-tech.aspx)



(/Resources/Case-Studies/GE-Elemax-2600.aspx)

GE Elemax* 2600 (/Resources/Case-Studies/GE-Elemax-2600.aspx)

When 430 Forest owner and developer Prabhas Kejriwal tackled the challenge of providing the upscale audience of Palo Alto with high-quality living spaces, he furthered the challenge by attempting to design the most environmentally-responsible space possible.

[Read More \(/Resources/Case-Studies/GE-Elemax-2600.aspx\)](/Resources/Case-Studies/GE-Elemax-2600.aspx)

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RESOLUTION NO.: _____

**A RESOLUTION OF THE SWEETWATER CITY COMMISSION
AUTHORIZING THE MAYOR OF MISCELLANEOUS
EXPENDITURE FOR THE REPAIR AND MAINTENANCE OF
CERTAIN SECTIONS OF THE COMMISSION CHAMBERS; AND
PROVIDING FOR EFFECTIVE DATE.**

WHEREAS, the City needs a to have various sections of the Commission Chambers repaired; and,

WHEREAS, That standard wear and tear and the combination of the age of the Commission Chambers require continual expenditure for up-keep; and

WHEREAS, it is in the City's interest to repair and maintain the City of Sweetwater Commission Chambers ; and,

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND THE CITY COMMISSION OF THE CITY OF SWEETWATER, FLORIDA:

Section 1. Based on staff recommendations, the Mayor is authorized to spend \$20,000.00 for miscellaneous repairs and maintenance to the City of Sweetwater Commission Chambers.

Section 3. This resolution shall become effective upon its adoption by the City Commission and approval of the Mayor or if, vetoed, upon its reenactment by the City Commission as provided by the Charter of the City of Sweetwater.

PASSED and ADOPTED this _____ day of _____, 2019.

ORLANDO LOPEZ, Mayor

Commission President

ATTEST:

APPROVED AS TO FORM AND LEGAL
SUFFICIENCY:

CARMEN GARCIA, CITY CLERK

RAY GARCIA, CITY ATTORNEY

VOTE UPON ADOPTION:

JONIEL DIAZ COMMISSION PRESIDENT

MARCOS VILLANUEVA, COMMISSION VICE PRESIDENT

CECILIA HOLTZ-ALONSO, COMMISSIONER

DAVID BORRERO, COMMISSIONER

SAUL DIAZ, COMMISSIONER

ISIDRO RUIZ, COMMISSIONER

SOPHIA LACAYO, COMMISSIONER

Eastern Tile Distributors Corp.

7995 Nw 21 St

FL 33122

(305) 741-9857

marlon@easterntiledist.com

Invoice**BILL TO**

City Of Sweetwater

500 SW 109th Ave

Miami, FL 33174

INVOICE #	DATE	TOTAL DUE	DUE DATE	TERMS	ENCLOSED
1944	07/02/2019	\$3,394.60	08/01/2019	Net 30	

ACTIVITY	QTY	RATE	AMOUNT
Sepia Grigio 32x32 Rectified Porcelain	1,500	1.89	2,835.00
Contractors Choice Multipurpose Thin Set Mortar	40	13.99	559.60

City Hall Renovation

BALANCE DUE

\$3,394.60

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